

Development Services Department

March 12, 2024

Jessie Vallejo 454 Randolph Street Pomona, CA 91768



Subject: Notice of Decision for File No.(s) MINCOA-000307-2024

Dear Jessie Vallejo,

The Planning Division has reviewed your Certificate of Appropriateness application to demolish an existing one car garage and construct a new two-car garage with an attached office and storage room with a half bathroom. Upon review of the City's historic preservation ordinance and design guidelines your project has been **approved**. The attached decision letter provides the analysis and basis for the decision. There is a 20 day appeal period from the date of approval.

If you have any questions, please contact me at (909) 620-2449 or email me at alan.fortune@pomonaca.gov.

Sincerely,

Alan Fortune Assistant Planner

Attachment



# MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

FILE NO:

MINCOA-000307-2024

A request for a Minor Certificate of Appropriateness for the demolition of an existing damaged garage and construction of a new two-car garage

with an attached office and storage room with a half bathroom.

ADDRESS:

**454 Randolph Street** 

**APPLICANT:** 

Jessie Vallejo

PROJECT PLANNER:

Alan Fortune, Assistant Planner

**DECISION:** 

Approve File No(s). MINCOA-000307-2024.

#### **BASIS FOR DECISION**

Staff reviewed Pomona's Historic Preservation Ordinance (Section .5809-13), and the applicable design standards in Preserving Pomona – The Pomona Guide to Historic Preservation. In order to approve a Minor Certificate of Appropriateness Staff must determine that the findings contained in the City's Historic Preservation Ordinance can be made.

The request was received by Staff prior to the adopted amendment to the Historic Preservation section of the Pomona Zoning Ordinance regarding the demolition of structures fifty years or older. Prior to this change and at the time the application was submitted, a Minor Certificate of Appropriateness was required for proposed accessory structures according to the Historic Design Guidelines. In addition to the existing garage being in a dilapidated state and unable be repaired, the proposed replacement structure matches the architectural style of the primary home to the extent feasible.

#### **Applicable Design Standards**

#### Garages and Larger Accessory Structures (Over 120 sq. ft.):

The details of an accessory building (siding, trim, window and door style, foundation, etc.) must match the main building.

X Structures must meet all setback, height, and other applicable zoning requirements

#### **CONDITIONS OF APPROVAL:**

The Planning Division has completed its review of MINCOA-000307-2024. The request has been **Approved**. The approval is subject to the following conditions:

- The approval shall be used in the manner requested and shall be in substantial conformity with the plans approved by the Planning Division on the date listed on this letter, in accordance with the revision and/or additional conditions specifically required in this approval.
- 2. The approval shall be valid for not more than one year from the date of Permit approval. The Planning Division may grant a time extension for one (1) year provided that a written request by the applicant is submitted to the Planning Division within thirty (30) days prior to the expiration date without a fee. If plans are submitted to the Building and Safety division within one year from the date of approval, the proposed action shall be considered active.
- 3. The applicant shall obtain any required permits from the Building & Safety Division and/or Department of Public Works.
- 4. In the event that the approved plans under this Minor Certificate of Appropriateness are inconsistent with the provisions of the California Code of Regulations, Tittle 24 and/or any other applicable uniform building codes, the applicable building codes shall prevail.
- 5. Any deviation from the approved plans, shall require modification to the Certificate of Appropriateness and require approval of the Planning Division and, if necessary, the Historic Preservation Commission.
- 6. All project conditions shall be imprinted on the title sheet of the construction drawings (if required). The approved set of plans shall be retained on-site for review by Building Inspectors during the course of construction.
- Prior to Occupancy the Planning Division shall inspect the premises to ensure the Conditions of Approval have been met and that the project has been constructed per the approved plans.
- 8. Construction Activities:

Hours of construction activity shall be limited to:

7:00 a.m. to 8:00 p.m., Monday through Saturday (There shall be no construction allowed on Sunday or on any Federal or State Holiday)

- 9. Violation of any of the conditions of this permit shall be cause for revocation and termination of all rights thereunder.
- 10. The applicant shall obtain a building permit prior to any demolition or construction.



# MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

- 11. All ground and roof-mounted equipment is required to be fully screened from view. Upon final inspection, Planning Division staff may require additional screening if warranted, through either landscaping, walls or a combination thereof.
- 12. Applicant should consider salvaging the window on the existing garage and installing it on the new garage as it is appears to be original.
- 13. The proposed siding exposure shall match that of the primary home.
- 14. The style of windows shall be single or double hung, rather than sliding, similar to the primary home. These windows shall be composed of wood to match that of the primary home.
- 15. The style of door shall be of wood and Craftsman style, similar to the primary home.
- 16. Provide exposed rafters in the eave overhangs to match the existing garage and the primary home. Distances between exposed rafters shall match that of the existing home.
- 17. Gable venting must be provided to match that of the existing garage and the primary home. This venting can be decorative, rather than functional.
- 18. Extruded support beams should be placed at the tops and bottoms of each roof gable, similar to the primary home.
- 19. The garage shall appear to be of a style that is compatible with the time period and architectural style of the primary home. The new garage door may be mechanical and open overhead but should appear to be a sliding door style.
- 20. Low profile roof vents shall be used.
- 21. All construction materials; including siding, roof shingles, and windows, shall match that of the primary home.

#### **APPEALS**

This decision will become final on April 2, 2024, unless an appeal is filed with the Planning Division prior to this date. The applicant or any member of the public may file an appeal. There is no cost to file an appeal for a Minor Certificate of Appropriateness. Appeals may be filed with the contact listed in this letter.



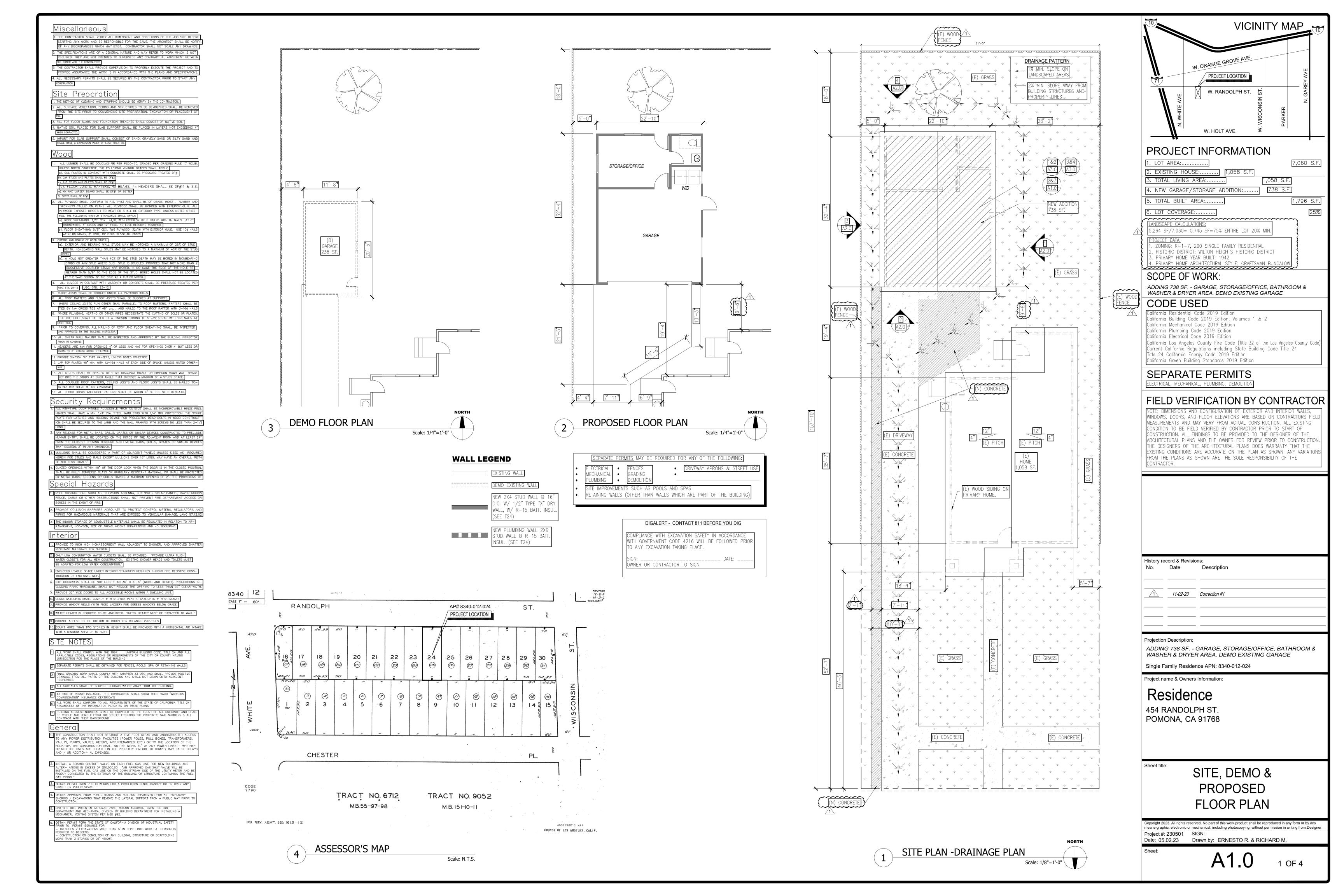
# MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

Sincerely,

Geoffrey Starns, AICP, AIA, LEED AP Historic Preservation Supervisor

March 12, 2024

Date



### **GENERAL FOUNDATION NOTES:**

- 1. TYPICAL FOOTING: 2500 PSI CONCRETE ONE STORY = 12"WIDE X 12" DEEP TWO STORY 15"WIDE X 18" DEEP ALL FOOTINGS SHALL HAVE (1) #4 REBAR (GR. 40) AT TOP & BOTTOM OF FOOTINGS UNLESS NOTED OR DETAIL OTHERWISE NOTE: DO THIS BELOW NAT. GRADE OR COMPACTED FILL REFER TO DETAILS FOR SPECIFIC CONDITIONS.
- 2. TYPICAL SLAB: 2500 PSI CONCRETE 4" THICK (NET) CONCRETE SLAB 2/6"X 6"/#10X#10 E.W.W.M. PLACED AT CENTER OF SLAB OVER 2" OF SAND OVER 6 MIL. VISQUEEN OPT: REINFORCEMENT #3 REBAR 18" O.C. EACH DIRECTION PLACED AT ENTER OF SLAB

#### 3. ALL SLAB SUBGRADE AREAS SHALL BE PREMOISTENED BEFORE PLACING CONCRETE

- 4. TYPICAL ANC. BOLTS: 5/8"DIA. X 10" LONG, EMBED 7" MIN INTO FOOTING, SPACED A MAX. OF 48" O.C, WITH 3"X3"X.229" PLATE SQUARE WASHERS. 12" MAX. FROM ENDS AND ICORNERS PROVIDE A MIN. OF (2)ANCHOR BOLTS PER PIECE OF PLATE VERIFY SPACING AT SHEAR WALLS WITH SCHEDULE ON FRAMING PLAN. IF A TWO POUR SYSTEM IS UTILIZED PROVIDE EXTRA LONG ANCHOR BOLTS W/A MIN. 5" EMBEDMENT INTO FOOTING ANCHOR BOLTS TO HAVE WASHER PLATE 3"x3"x.229" OR 5/8" DIA. REDHEAD 4-1/2" EMBEDMENT PER ICBO #1372
- FOUNDATION ANCHOR BOLTS IN WALLS WITH SILL PLATES SUPPORTING LATERAL LOADS GREATER THAN 300 POUNDS/FOOT SHALL HAVE AN APPROVED PLATE WASHER UNDER EACH NUT AND THE NUTS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL
- 6. SHEAR WALL ANCHOR BOLTS AND HOLDOWN SHALL BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION. NOTE: 10" ANCHOR BOLTS CANNOT BE USED WHERE 3X SILL PLATES ARE REQUIRED
- 7.][<u>HOLDOWN ANCHORS</u> **SHALL BE RE—TIGHTENED JUST PRIOR TO COVERING THE WALL**] RAMING. ALL HOLDOWN ANCHORS SHALL BE TIED IN PLACE PRIOR TO CALLING FOUNDATION INSPECTION.
- [8.] CONTRACTOR SHALL VERIFY THAT USED PAD FOOTINGS INDICATED OCCUR UNDER POST ABOVE. REFER TO FRAMING PLAN
- 9. CONTRACTOR SHALL VERIFY THAT NEW FOOTINGS ALIGN WITH WALLS AS INDICATED ON LOOR PLAN REGARDLESS OF DIMENSIONS NOTED AND SHALL NOTIFY ARCHITECT OF ANY
- CONTRACTOR SHALL CONFIRM REQUIRED ANCHOR BOLT SPACING WITH SHEAR PANEL SCHEDULE ON FRAMING PLAN AND VERIFY EXISTING ANCHOR BOLT SPACING, WHERE IN EXIST. FOOTINGS USE 1/2" RAMSET TRUBOLT OR RAMDRILL ICBO #2391-5 1/2" LONG WITH 3" MIN EMBEDMENT
- 11. Provide electrical grounding system (if required) concrete encased "ufer" GROUND AT SERVICE LOCATION - 1/2" C.,W. (1) #2 TO COLD WATER PIPE (1) #2 BARE COPPER TIED TO 20' OF REBAR ENCASED IN CONCRETE FOOTING. VERRIFY W/ UTILITY CO. PRIOR TO PLACEMENT
- SILLS: FOUNDATION PLATES AND OTHER MEMBERS IN CONTACT WITH THE FOUNDATION ARE TO BE EITHER APPROVED TREATED LUMBER OF FOUNDATION GRADE REDWOOD.
- 13. REINFORCING STEEL SHALL BE INTERMEDIATE GRADE DEFORMED BARS AND SHALL CONFORM TO ASTM SPEC. A-305 AND A-615 (LATEST REVISION)
- 14. ALL REINFORCING STEEL SHALL BE LAPPED WHERE SPLICED 40 BAR DIAMETERS WITH A
- 15. ALL REINFORCED BARS SHALL BE SET STRAIGHT AND SECURED ACCURATELY IN POSITION

## **GENERAL DATA**

- A. WORK PERFORMED SHALL COMPLY WITH: THESE GENERAL NOTES (UNLESS ERWISE NOTED ON PLANS), UNIFORM BUILDING CODE-ADOPTED BY THE GOVERNING AGENCY: ALL APPLICABLE LOCAL AND STATE CODES, RDINANCE AND REGULATIONS.
- B. THE CONTRACTOR SHALL VISIT THE SITE: EXAMINE THE EXISTING STRUCTURES. AND NOTE ALL CONDITIONS AS TO THE CHARACTER AND EXTENT OF WORK
- INVOLVED, PRIOR TO SUBMITTING THE BID. C. BY SUBMITTING A BID, THE BIDDER AGREES AND WARRANTS THAT HE HAS EXAMINED THE DRAWINGS AND FOUND THAT THEY ARE ADEQUATE FOR PROPER COMPLETION OF THE PROJECT
- THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY PERMITS OR CERTIFICATES REQUIRED TO COMPLETE THE WORK SPECIFIED. THE CONTRACTOR SHALL MAKE AND ALL REQUIRED NOTIFICATIONS AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ORDINANCES.
- F. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED . OR REQUIRED BY ANY CODE WITH JURISDICATION TO COMPLETE THEIR SCOPE OF WORK FOR A OMPLETE AND PROPERLY FINISHED JOB.
- HE CONTRACTOR SHALL BE RESPONSLIBLE FOR BRACING AND SHORING ALL EXCAVATIONS, TEMPORARY STRUCTURES, AND PARTICALLY COMPLETED PORTIONS
- G. IT IS DIRECTLY STIPULATED THAT THE CONTRACTOR SHALL REPAIR AND MAKE GOOD ANY DAMAGE TO ADJOINING PROPERTIES OR IMPROVEMENTS CAUSED BY HIS
- THE SHALL COORDINATE THE WORK OF ALL TRADES, CORRELATING THE ARCHITECTURAL DRAWINGS WITH ANY AND ALL CIVIL, STRUCTURAL, SOILS, MECHANICAL, SOLAR, ELECTRICAL, PLUMBING, LANDSCAPE, OR INTERIOR DESIGN DOCUMENTS OR DRAWINGS.
- ON SITE VERIFICATION OF ALL DIMENTIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). DIMENTIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. SUCH VERIFICATIONS SHALL BE MADE BEFORE: ORDERING MATERIALS, PREFABRICATED ITEMS AND COMMENCING ANY
- ALL FRAMING CONDITIONS, NOT SPECICALLY COVERED IN THE DRAWINGS SHALL E IN CONFORMANCE WITH THE GENERAL CONSTRUCTION PROVISIOINS OF THE LATEST
- K. ALL CONDITIONS NOT SPECIFICALLY SHOWN OR DETAILED SHALL ANY MATERIALS SUBSTITUTION SHALL BE PERMITTED ONLY UPON THE CONTRACTOR
- DR SUPPLIER RECEIVING A WRITTEN CONSENT FROM THE DESIGNER M. ALL MATERIALS REMOVED UNDER THIS CONTRACT, WHICH IS NOT TO BE SALVAGED OR REUSED OR TURNED OVER TO THE OWNER, SHALL BECOME THE PROPERTY
- OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE. N. ALL WORK, INCLUSIVE OF THE LABOR AND MATERIALS, SHALL BE GUARANTEED FOR ONE (1) YEAR FOLLOWING THE DATE OF THE NOTICE-OF-COMPLETION:OR ONGER IF REQUIRED BY LAW OR SPECIFICATION.
- O. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ESIGNER IMMEDIATELY, IN WRITTING, OF ANY DISCREPANCIES.
- P. REGARDING PROTECTION OF PEDESTRIANS DURING CONSTRUCTION. UBC SECT.

### **GREEN GENERAL NOTES:**

#### **GENERAL REQUIREMENTS**

- I. Plumbing fixtures and fixture fittings on the plans shall comply with the following flow rates: a. Water Closets - 1.28 GPF
- b. Urinals 0.5 GPF c. Wall-mounted urinal - 0.125 GPF d. Single showerhead – 2.0 GPM at 80psi
- e. Multiple showerheads 2.0 GPM at 80psi for all combined showerheads
- f. Lavatory faucets 1.2 GPM at 60psi g. Lavatory faucets in public use areas – 0.5 GPM at 60psi
- h. Metering faucets .25 gallons per cycle i. Kitchen faucets – 1.8 GPM at 60psi (4.303.1)
- 2. Annular spaces around pipes, electrical cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or a similar method (4.406.1)acceptable to the enforcing agency.
- 3. Fireplaces shall be direct vent sealed combustion type. Indicate on the plans the manufacturer name and model number.
- 4. At the time of rough installation, during storage on the construction site, and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust and debris which may enter the system.
- 5. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.

- 6. All mechanical exhaust fans in rooms with a bathtub or shower shall comply with the following:
  - a. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
  - b. Fans must be controlled by a readily accessible humidistat unless functioning as a component of a whole house ventilation system. Humidity control shall be capable of adjustment between a relative humidity (4.506.1)
- range of 50% and 80%. 7. Adhesives, sealants and caulks shall meet or exceed the standards outlined in Section 4.504.2.1 and comply with the VOC limits in Tables 4.504.1 and 4.504.2 as applicable. (4.504.2.1)
- 8. Paints and coatings shall meet or exceed the standards outlined in Section 4.504.2.2 and comply with the VOC limits in Table 4.504.3. (4.504.2.2) 9. Aerosol paints and coatings shall meet or exceed the
- standards outlined in Section 4.504.2.3. (4.504.2.3) 10. All carpet installed in the building interior shall meet all the testing and product requirements of one of the

following:

- a. Carpet and Rug Institute's Green Label Plus Program OR
- b. California Department of Public Health Standard Method for the testing of VOC Emissions (Specification 01350) OR
- c. NSF/ANSI 140 at the Gold Level OR d. Scientific Certifications Systems Indoor Advantage Gold 11. All carpet cushion installed in the building interior
- shall meet the requirements of the Carpet and Rug Institute Green Label Program. Carpet adhesives shall not exceed a VOC limit of 50 g/L.

(4.504.3.1, 4.504.3.2)

Residential 2017 Green Building Standard Notes

- 12. A minimum of 80% of floor area receiving resilient flooring shall comply with one of the following:
  - in the CHPS High Performance Products Database, OR b. Products certified under UL GREENGUARD Gold (Formerly the Greenguard Children &

a. Products certified as a Low-Emitting Material

- Schools program), OR c. RFCI FloorScore program, OR
- d. Meet the California Department of Public Health Standard Method for the testing of VOC Emissions (Specification 01350)
- 13. Composite wood products (hardwood plywood, particle board, and MDF) installed on the interior or exterior of the building shall meet or exceed the standards outlined in Table 4.504.5. Verification of compliance with these sections must be provided at the time of inspection. (4.504.5)

#### TABLE 4.504.3/TABLE 5.504.4.3 **VOC CONTENT LIMITS FOR ARCHITECTURAL COATING2,3** Grams of VOC per Liter of Coating, Less Water and Less Exempt Compound

COATING CATEGORY	VOC LIMIT	COATING CATEGORY	VOC LIMIT	
Flat coatings	50	Magnesite cement coatings	450	
Nonflat coatings	100	Mastic texture coatings	100	
Nonflat high-gloss coatings	150	Metallic pigmented coatings	500	
SPECIALTY COATINGS		Multi-color coatings	250	
Aluminum roof coating	400	Pretreatment wash primers	420	
Basement specialty coatings	400	Primers, sealers, and undercoaters	100	
Bituminous roof coatings	50	Reactive penetrating sealers	350	
Bituminous roof primers	350	Recycled coatings	250	
Bond breakers	350	Roof coatings	50	
Concrete curing compounds	350	Rust preventative coatings	250	
Concrete/masonry sealers	100	Shellacs: Clear Opaque	730 550	
Driveway sealers	50	Specialty primers, sealers and undercoaters	100	
Dry fog coatings	150	Stains	250	
Faux finishing coatings	350	Stone consolidants	450	
Fire resistive coatings	350	Swimming pool coatings	340	
Floor coatings	100	Traffic marking coatings	100	
Form-release compounds	250	Tub and tile refinish coatings	420	
Graphic arts coatings (sign paints)	500 Wa	erproofing membranes	250	
High-temperature coatings	420 Wo	od coatings	275	
Industrial maintenance coatings	250 Wo	od preservatives	350	
Low solids coatings1	120	Zinc-rich primer	340	

3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coating

gested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

#### ABLE 4.504.5/TABLE 5.504.4.5 FORMALDEHYDE LIMITS1 Maximum Formaldehyde Emissions in Parts per Million rdwood plywood veneer core lardwood plywood composite core 0.09 edium density fiberboard 0.11 in medium density fiberboard2 Board, Air Toxics Control Measure for Composite Wood as tested in accordance w ASTM E 1333. For additional information, see California Code of Regulations, Title 17, Section 93120 through 93120.12. Thin medium density fiberboard has a maximum thickness 5/16 inch (8mm).

Less Water and Less Exempt C	ompounds in Grams Per Lite
SEALANTS	VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modifited bituminous	500
Marine deck	760
Other	750

TABLE 4.504.1/TABLE ADHESIVE VOC LI	
Grams of VOC per Liter of Less Water and Less Exempt	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet pad adhesives	150
Wood flooring adhesives	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives	50
SPECIALITY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80
If an adhesive is used to bond dissimilar substrates tog VOC content shall be allowed.  For additional information regarding methods to measure.	ether, the adhesive with the

## Residential 2017 Green Building Standard Notes

GENERAL FRAMING NOTES: [1.] STUCCO LATH AND DRYWALL SHALL BE NAILED TO ALL STUDS AND TO TOP AND BOTTOM PLATES.

2. STUCCO: FIRST COAT - 3/8" THICK, 1 PART CEMENT TO 4 PARTS SAND. SECOND COAT - 3/8" THICK, 1 PART CEMENT TO 5 PARTS SAND. FINISH COAT - 1/8" THICK, 1 PART CEMENT TO 3 PARTS SAND.

[3.] A CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF ' ABOVE EARTH OR 2" ABOVE PAVED AREA.

4. 2-15# FELT BACKING WHEN STUCCO IS APPLIED OVER PLYWOOD.

[5.] NOTE PARTITION WALL WHICH RUNS PARALLEL TO FLOOR JOIST MUST HAVE 2-F.J.. USTER TO HAVE A UNIFORM LOAD ON FLOOR.

## **GENERAL NOTES:**

### **SECURITY REQUIREMENTS**

- 1. Exterior doors, doors between a house and a garage, windows and their hardware shall conform to the Security Provisions of Chapter 67 of the County of Los Angeles Building Code:
- a. Single swinging doors, active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a latch and a deadbolt. If the latch has a key-locking feature, a dead latch shall be used. The deadbolt lock shall be key operated from the exterior side of the door, and operated from the interior side of the door by a device not requiring a key, tool, or excessive force. Deadbolts shall have a hardened insert with 1" minimum throw and 5/8" minimum embedment into the jamb. (BC 6709.2)
- b. Inactive leaf of a pair of doors and the upper leaf of Dutch doors shall have a deadbolt as per paragraph "a", unless it is not key operated from the exterior, or has a hardened deadbolt at top and bottom with ½" embedment.
- c. Swinging wood door(s) shall be solid core not less than 1-3/8" thick. d. Panels of wood doors shall be 9/16" thick and not more than 300 sq. inches. Stiles and rails to be 1-
- 3/8" thick and 3" minimum width. (BC6709.1.2) e. Door hinge pins accessible from the outside shall (BC 6709.5) be non-removable.

f. Door stops of wood jambs of in-swinging doors shall

be one piece construction or joined by a rabbet. (BC 6709.4) g. Windows and door lights within 40" of the locking device of the door shall be fully tempered/approved

burglary resistant/protected by bars, screens or

(BC 6714) h. Overhead and sliding garage doors shall be secured with a cylinder lock, a padlock with a hardened steel shackle, or equivalent when not otherwise locked by electric power operation. Jamb locks shall be on both jambs for doors exceeding 9 (BC 6711) feet in width

i. Sliding glass doors and sliding glass windows shall be capable of withstanding the tests set forth in Section 6706 and 6707 of the Los Angeles County Building Code and shall bear a label indicating compliance with these tests. Locking devices on sliding glass doors complying with Section 1010 and 1030, and emergency egress windows complying with Section 1030, shall be releasable from the inside without the use of a key, tool, or excessive force. (BC 6710, 6715)

### **CONSTRUCTION REQUIREMENTS**

- 2. Notching of studs in exterior or bearing walls shall not exceed 25% of its width. Notching of studs in nonbearing walls shall not exceed 40% of its width. Bored holes in studs shall not exceed 60% of its width, shall not be closer than 5/8" to the edge of the stud, and shall not be located in the same section as a cut or notch. Studs located in exterior or bearing walls shall be doubled if bored over 40% and up to 60% of its width.
- . Wall and Ceiling finishes shall have a flame spread index of not greater than 200, and a smoke-developed index not greater than 450. Insulation materials shall have a flame spread index not to exceed 25, and a smoke-developed index not to exceed 450.
- (R 302.9, 302.10) 4. Provide fire blocking in concealed spaces of
- combustible stud walls, partitions, including furred spaces, at the ceiling and floor level, at 10-foot intervals both vertical and horizontal, and between stair stringers at the top and bottom.
- . Ducts installed under a floor in a crawl space shall not prevent access to an area of the crawl space. Where it is required to move under ducts for access to areas of the crawl space, a vertical clearance of 18" minimum shall be provided. (MC 603.1)
- 6. Where flashing is of metal, the metal shall be corrosion resistant with a thickness of not less than .019 inch (No. 26 galvanized sheet). (R 903.2.1)

Roof diaphragm nailing to be inspected before covering. f. Glazing adjacent to stairs and ramps where the Wood structural panel sheathing shall comply with 3. End joints in lumber used as subflooring shall occur

> a rail is designed per Section R308.4.6. g. Glazing adjacent to the landing at the bottom of a

9. The following shall be considered specific hazardous locations requiring safety glazing per Section R308: a. Glazing in fixed and operable panels of swinging, sliding, and bifold doors.

over supports, unless end-matched lumber is used, in

which case each piece shall bear on not less than two

structural purposes shall comply with Section R503.2.

joists. Wood structural panel sheathing used for

Section R803.2.

GLAZING REQUIREMENTS

- b. Glazing in fixed or operable panels adjacent to a door where the bottom exposed edge of the glazing is less than 60 inches above the walking surface and it meets either of the following 1. Where the glazing is within 24 inches of either
- side of the door in the plane of the door in a closed position. 2. Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side on an
- in-swinging door. c. Window glazing in an individual fixed or operable panel, that meets all of the following conditions: 1. The exposed area of an individual pane is larger
  - than 9 square feet. 2. The bottom edge is less than 18 inches above
  - 3. The top edge is more than 36 inches above the
  - 4. One or more walking surfaces are within 36 inches, measured horizontally and in a straight line, of the glazing.
- d. Glazing in guards, railings, structural baluster panels, and nonstructural in-fill panels, regardless of area or height above a walking surface.
- e. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers, and indoor or outdoor swimming pools, where all of the following
- 1. The bottom edge of the glazing is less than 60 inches above any standing or walking surface. 2. The glazing is within 60 inches, measured
- conditions are present: horizontally and in a straight line, from the water's edge of a hot tub, spa, whirlpool, bathtub, or swimming pool, or from the edge of a shower, sauna or steam room.

- bottom exposed edge is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs, and ramps, unless the glazing is 36 inches or more measured horizontally from the walking surface, or
- stairway where the glazing is less than 36 inches above the landing and within a 60-inch horizontal arc less than 180 degrees from the bottom tread nosing, unless the glazing is more than 18 inches from a protective guard per Section R312.
- MECHANICAL/PLUMBING/ELECTRICAL CODE REQUIREMENTS 10. Dwelling shall be provided with comfort heating facilities capable of maintaining a room temperature of 68 degrees F at a point 3 feet above the floor and 2 feet from exterior walls.
- 11. The following are required for central heating furnaces and low-pressure boilers in a compartment: a. Listed appliances shall be installed with clearances
- in accordance with the terms of their listings and the manufacturer's installation instructions. (MC 904.2(1)) b. Unlisted appliances shall meet both the clearances
- manufacturer's installation instructions. c. When combustion air is taken from inside, the free area of combustion air openings shall be 1 sq. inch per 1,000 BTU (100 sq. inch minimum) per opening.

in Table 904.2, and the clearances allowed by the

- One Opening shall be within 12 inches of the top of the enclosure and the second shall be within 12 inches of the bottom of the enclosure. The dimension shall not be less than 3 inches.
- d. Not less than 1/4 of an inch screen mesh is required at openings where combustion air is taken from the outside. (MC 701.10(1))
- e. Separate ducts shall be used for upper and lower combustion air openings, and maintained to the source of combustion air. (MC 701.11(4)) 12. The following are required for appliances installed in an
- a. An opening and passageway shall not be less than 22 inches by 30 inches, and not less than the size
- of the largest component of the appliance. b. Where the passageway height is less than 6 feet, the distance from access to the appliance shall not exceed 20 feet, as measured along the centerline.
- c. Passageway shall be unobstructed and shall have solid flooring not less than 24 inches wide from entrance to appliance. (MC 304.4.2)
- d. A level working platform not less than 30 inches by 30 inches is required in front of the service side of the appliance. (MC 304.4.3)

(MC 304.4.1)

## **CONTINUE GENERAL NOTES:**

- e. A permanent 120V receptacle outlet and a lighting fixture shall be installed near the appliance. Light switch shall be located at the entrance to the (MC 304.4.4)
- f. A type B or L gas vent shall terminate not less than 5 feet above the highest connected appliance flue collar or draft hood. (MC 802.6.2.1)
- g. Appliance installation shall meet all listed (MC 303.1) clearances
- 13. Clothes dryer exhaust duct shall terminate on the outside of the building in accordance with Section

### (MC 504.4)

502.2.1 and shall be equipped with a back-draft

- 4. Clothes dryer moisture exhaust duct shall be 4 inches in diameter and is limited to a total combined horizontal and vertical length of 14 feet, including two 90 degree elbows from the clothes dryer to point of termination. Duct length shall be reduced by 2 feet for each 90 degree elbow in excess of two. (MC 504.4.2)
- 5. Appliances (water heater, furnace, etc.) located in the garage shall be installed so that burners and burnerignition devices are located not less than 18 inches above the floor, unless listed as flammable vapor (MC 305.1) ignition resistant.
- 16. Ducts shall be sized per Chapter 6 of the Mechanical
- 7. Flush volumes of plumbing fixtures and flow rates of plumbing fittings shall comply with Section 4.303 of the Green Code.
- 8. ABS and PVC DWV piping installations are limited to not more than two stories of areas. (PC 701.2(2))
- 19. All showers and tub-showers shall have a pressure balance, thermostatic, or combination pressure
- 20. All new, replacement and existing water heaters shall be strapped to the wall in two places. One on the upper 1/3 of the tank, and one on the lower 1/3 of the tank. The lower point shall be a minimum of 4 inches above the controls.

balance/thermostatic mixing type valve. (PC 408.3)

# **ATTACHMENT A**

sites regardless of size. (Applies to all permits)

**BEST MANAGEMENT PRACTICES** 

FOR CONSTRUCTION ACTIVITIES

**Storm Water Pollution Control Requirements for Construction Activities** 

Minimum Water Quality Protection Requirements for All Development Construction **Projects/Certification Statement** 

represent the minimum standards of good housekeeping that must be implemented on all construction

The following is intended as minimum notes or as an attachment for building and grading plans and

- · Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- · Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind

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As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

(Owner or authorized agent of the owner)

\*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. www.cabmphandbooks.com

Attachment A BMP Notes.doc

(Owner or authorized agent of the owner)

Print Name

History record & Revisions: Date Description

Projection Description: ADDING 738 SF. - GARAGE, STORAGE/OFFICE, BATHROOM & WASHER & DRYER AREA. DEMO EXISTING GARAGE

Single Family Residence APN: 8340-012-024

11-02-23 Correction #1

# Residence

Project name & Owners Information:

454 RANDOLPH ST **POMONA, CA 91768** 

Sheet title:

Project #: 230501 SIGN:

Date: 05.02.23

**GENERAL NOTES** 

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Drawn by: ERNESTO R. & RICHARD M.

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